

# Inspection Report

Provided By



**PRO BUILD Inspections**

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## Report Information

### Client Information

Client Name

Report Ordered By

### Inspection Information

Report/Agreement # 8

Inspection Date:

Inspection Time:

### Building Inspection

**The Scope of the Inspection:** This report Complies with Australian Standards AS 4349.1-2007. Inspection of Buildings Part 1: Pre- Purchase Inspections-Residential Buildings- Appendix "C"

Only the purchaser name at the front page of the report "Client" should rely on this report. If this report has been issued to you by a third party. You are not to rely on its findings or contents and seek to obtain your own independent pre purchase inspection report as this report or its contents is non transferable. The inspection WILL NOT report on items listed in Appendix "D" of AS43491.2007.

If the property is part of a Strata or Company Title , then Appendix "B" of the Australian Standards applies.

**Special Requirements:** Unless stated otherwise in the report It is acknowledged that there are no special requirements placed on this inspection that are outside the scope of the abovementioned Australian Standard.

**Inspection Agreement:** This report is subject to the terms, scope, description and limitations of the inspection agreement that was entered into prior to the inspection being performed. (Note: This agreement may have been entered into by your Solicitor/Conveyancer or other agent). If you are unsure in any way as to how that inspection agreement impacts this inspection and report, please seek clarification prior to committing to the property.

**Changes to the Inspection Agreement:** Unless stated otherwise in the report It is acknowledged that if any inspection agreement is in place in respect to this inspection, no changes have been made between the scope of the pre-Inspection Agreement and the scope of this inspection report.

**Please read the entire report.** Refer to the terms & conditions as they form part of the report

### Areas to be Inspected and Restrictions

The Building and the site including fencing that is up to 30 meters from the building and within the boundaries of the site. Where present and accessible, the Inspection shall include.

- (a) The interior of the building.
- (b) The roof space.
- (c) The exterior of the building

- (d) The sub-floor space
- (e) The roof exterior
- (f ) The property within 30 m of the building subject to inspection.













### **Visual Inspection Only**

This is a visual inspection only limited to those areas and sections of the property fully accessible and visible to the inspector on the date of inspection. The inspection did not include breaking apart, dismantling, removing or moving objects including, but not limited to, foliage, mouldings, roof insulation/ sisalation, floor or wall coverings, sidings, ceilings, floors, furnishings, appliances or personal possessions. The inspector cannot see inside walls, between floors, inside skillion roofing, behind stored goods in cupboards and other areas that are concealed or obstructed. The inspector did not dig, gouge, force or perform any other invasive procedures. Visible timbers cannot be destructively probed or hit without the written permission of the property owner.

### **Very Important note to the purchaser.**

In the event that areas where access could not be gained ie: locked areas or rooms where physical access could not be gained, structural defects, termite damage or activity may be present but not seen. Access should be provided and a follow up or re-Inspection should be undertaken prior to a contract of sale becoming binding. Please consult with the vendor and request full access to restricted areas. This should be done prior to a decision to purchase.

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## Summary Of Major Defects And Safety Hazards

**Below Is A Summary Of Significant Items Requiring Immediate Action.**

Section	Location	Name	Comment
SITE	Surface Drainage	Drains	There is evidence of drainage issues. Consult with the vendor regarding any plumbing/drainage issues prior to a decision to purchase as this will require the service of a licenced plumber for further advice and recommendations.
SITE	Pool Fence & Signs	Pool Fence	The appropriate warning signs do not appear to be present. You should check with your local council regarding the required signs.
EXTERIOR	Eaves	Eave Condition	Exposed common rafter ends are rotted/decayed. Recommendations: A qualified carpenter should be engaged to replace all affected rafters.
EXTERIOR	Walls	Condition	Rising damp detected. A qualified damp proof specialist should be engaged for advice and recommendations. Accurate diagnosis of the cause and extent of the damp problem is very important. it is strongly advised that you have this issue assessed prior to purchasing the dwelling as can be quite costly if a damp proof course has to be reinstated.
INTERIORS	Living Room(1)	Walls	High moisture levels detected indicating rising damp. there can be other causes such as water ponding against the wall or poor drainage in that particular area. Rising damp in one area of the dwelling may mean that other sections of the dwelling may be affected and not yet visible. Contact a specialist in this field for repairs and advice. We recommend getting a quote prior to a decision to purchase as this can be very expensive to rectify. Using an invasive moisture reading, results showed that the dry wall had over 15% of moisture. This indicates that there is a high level of moisture in the wall
INTERIORS	Combined living and Dining	Walls	High moisture levels detected indicating rising damp. there can be other causes such as water ponding against the wall or poor drainage in that particular area. Rising damp in one area of the dwelling may mean that other sections of the dwelling may be affected and not yet visible. Contact a specialist in this field for repairs and advice. We recommend getting a quote prior to a decision to purchase as this can be very expensive to rectify. Using an invasive moisture reading, results showed that the dry wall had over 17% of moisture. This indicates that water is penetrating the wall system from outside. Further investigations suggests incorrect flashings have been used to seal the wall framing to the concrete slab.

INTERIORS	Study	Walls	High moisture levels detected indicating rising damp. there can be other causes such as water ponding against the wall or poor drainage in that particular area. Rising damp in one area of the dwelling may mean that other sections of the dwelling may be affected and not yet visible. Contact a specialist in this field for repairs and advice. We recommend getting a quote prior to a decision to purchase as this can be very expensive to rectify.
INTERIORS	Bedroom 2	Walls	Excess moisture readings were obtained on the wall linings adjacent bathroom/shower. This may be related to the shower recess/plumbing in wall cavity leaking or failed waterproofing membrane to the wet area. Engage a plumber and a qualified waterproofing contractor for advice and recommendations. Readings over 70 (pinless moisture meter reading) indicate a high level of moisture.
ROOF VOID	Roof Void Findings	Roof Framing Defects	Deteriorated batons observed. A qualified carpenter should be engaged for advice and recommendations.
CONCLUSION	Condition Of Inspected Structure	The incidence of Major Defects	The incidence of major defects in this residential building as compared with similar buildings is considered TYPICAL

## Summary Of Minor Defects

**Below Is A Summary Of Defects Other Than Major Defects.**

Section	Location	Name	Comment
SITE	Driveway	Driveway Condition	Surface raised and settled in some areas. This can cause water ponding. Relaying recommended.
SITE	Surface Drainage	Drainage Findings	The ground levels along the perimeter walls at the rear of the home did not appear to fall away from the property walls sufficiently due to the natural landscape and contour. This will need to be assessed during a period of rainfall and if surface water appears to be entering the sub floor if applicable or ponding against the perimeter walls, engage a plumber or landscaper to assess and rectify as required. All drains should be regularly checked by a plumber and kept clean of debris to allow surface water to be carried away from the dwelling.
ROOF AND GUTTER	Roof Covering	Roof Clad Condition	Cracked tiles visible. Contact a roof tiler for repairs. This has potential to become a serious issue if repairs aren't carried out due to water ingress into the roof cavity.
ROOF AND GUTTER	Roof Covering	Roof Clad Condition	Mortar cracks visible. We recommend having these repaired by a qualified roofer as they may contribute to water ingress.
ROOF AND GUTTER	Roof Covering	Roof Clad Condition	Moss has built up on the tiles over time. It is preferable to have removed / cleaned to prevent deterioration. Recommendations: A qualified roof restoration contractor should be engaged for advice and recommendations.
ROOF AND GUTTER	Roof Covering	Roof Clad Condition	Trees overhang on roof - Recommendations: Cut back to prevent damage and blocked guttering and associated problems.
ROOF AND GUTTER	Roof Covering	Flashing Conditions	Minor flashing rust sections. A qualified roofer should be engaged for repairs and recommendations.
ROOF AND GUTTER	Guttering	Gutter Findings	Debris in guttering areas- this requires cleaning out to prevent blocking of downpipes and leaking into eaves and fascia. Have gutters cleaned and assessed by a plumber for adequate fall. Regularly clean to prevent ponding. Ponding water will contribute to rust.
ROOF AND GUTTER	Guttering	Gutter Findings	Impact/Denting damage observed. Replace as required.
ROOF AND GUTTER	Downpipes	Downpipe Findings	Insufficient in the inspectors opinion. Add more to aid with water evacuation. Contact a roof plumber for further advice and recommendations. Front gutter was only one down pipe servicing roof. This is insufficient as evident in heavy rainfall. This may also be contributing to moisture in living room walls
EXTERIOR	Alfresco Area	Base or Flooring Condition	General timber decay in decking components. A qualified carpenter should be engaged for advice and recommendations.
EXTERIOR	Eaves	Eave Condition	Minor eave deterioration & ageing evident. Recommendations: Maintenance works, general upkeep should be carried out.

EXTERIOR	Eaves	Eave Condition	Eave lining damage visible. Recommendations: A qualified carpenter should be engaged for repairs.
EXTERIOR	Eaves	Eave Condition	Eave lining timber fungal decay visible. Recommendations: A qualified carpenter should be engaged for repairs and recommendations.
EXTERIOR	External Door Components	Door Findings	General age/damage has occurred to door frame, face or components. Recommendations: A qualified carpenter should be engaged for advice and recommendations.
EXTERIOR	Fascia and Barge Boards	Condition	Minor deterioration & ageing evident. Recommendations: Maintenance works, general upkeep should be carried out.
EXTERIOR	Fascia and Barge Boards	Condition	Impact/Denting damage observed.
EXTERIOR	Walls	Condition	External cladding is in contact with the ground. This is a conducive condition for moisture penetration causing decay and/or concealed termite entry. Contact a licensed builder for recommendations.
EXTERIOR	Windows	Overall Condition	General age/damage has occurred to window components. Recommendations: Restoration work recommended. A qualified carpenter should be engaged for advice and recommendations.
EXTERIOR	Windows	Overall Condition	Fly screens show signs of age. Near future replacement is recommended
EXTERIOR	Weep Holes and Ventilation	Findings	Vents are covered by decks. Sub floor vents should be exposed and allowing free flowing air.
INTERIORS	Combined living and Dining	Ceiling	General ageing and/or denting and the like is evident on ceiling linings - Recommendations: A qualified painter should be engaged to assess and repair as required.
INTERIORS	Combined living and Dining	Ceiling	Ceiling join crack patching is evident. I recommend you contact a qualified painter for further advice and recommendations.
INTERIORS	Combined living and Dining	Walls	General ageing and/or denting and the like is evident on wall linings - Recommendations: A qualified painter should be engaged to assess and repair as required.
INTERIORS	Combined living and Dining	Windows	General age wear deterioration - The window frame/ components showed evidence of ageing and wear. General maintenance works required.
INTERIORS	Living Room(1)	Windows	General age wear deterioration - The window frame/ components showed evidence of ageing and wear. General maintenance works required.
INTERIORS	Study	Ceiling	General ageing and/or denting and the like is evident on ceiling linings - Recommendations: A qualified painter should be engaged to assess and repair as required.
BATHROOM(S)	Bathroom 1	Vanity/Sink/ Taps	General deterioration and wear to vanity, cupboards and benches. Replacement recommended.



BATHROOM(S)	Bathroom 1	Shower And Bath	The bath tub is deteriorate. Refinish or replace. Contact a qualified plumber for recommendations and repairs
KITCHEN & LAUNDRY	Kitchen and Pantry	Ceiling	Minor cornice cracks - Minor cornice cracks visible. Recommendations: I recommend you contact a licensed plasterer for further advice and recommendations.
KITCHEN & LAUNDRY	Kitchen and Pantry	Walls	Damaged tile/s observed. Have repaired by a licensed tiler.
KITCHEN & LAUNDRY	Laundry	Taps and Tub	Tub is corroded. Replacement recommended.
CONCLUSION	Condition Of Inspected Structure	The Incidence of Minor Defects	The incidence of minor defects in this residential building as compared with similar buildings is considered TYPICAL



## SITE

### Driveway

#### Materials

The driveway is concrete.



#### Driveway Condition

On visual inspection, the general condition of the driveway is serviceable.

Common cracks were observed on the driveway. Whilst these cracks appeared to be typical at the time of inspection, we strongly recommend you monitor these cracks and if worsening occurs contact a concreter for further advice.

Surface raised and settled in some areas. This can cause water ponding. Relaying recommended.



## **Paths**

### **Pathways Condition**

The paths around the home are in a serviceable condition for the age of this dwelling with no major defects visible.



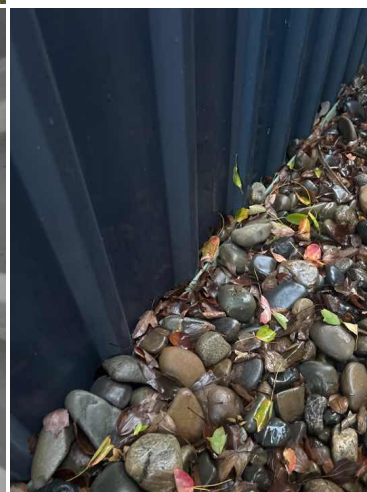
## Fences & Gates

### Overall Condition

Of the visible areas, the general condition of the fences and gates is serviceable for the age of dwelling.

General age to fence components. General upkeep and maintenance required. A qualified fencing contractor should be engaged for repairs.

Impact damage noted to some fence panels.







## **Retaining Walls**

### **NOTE**

As per Section 3.21 and appendix C6 of Australian Standards AS4349.1-2007 only retaining and landscaping walls over 700mm high shall be inspected.

Retaining walls were only inspected from within the boundary. Retaining walls that are not visible from within the boundary have not been inspected. Permission from adjoining properties should be obtained for these areas to be inspected.

### **Material**

Keystone blocks





## Overall Condition

Of the visible areas, the general condition is serviceable or in reasonable condition for age of dwelling.

## Surface Drainage

### Drainage Findings

The ground levels along the perimeter walls at the rear of the home did not appear to fall away from the property walls sufficiently due to the natural landscape and contour. This will need to be assessed during a period of rainfall and if surface water appears to be entering the sub floor if applicable or ponding against the perimeter walls, engage a plumber or landscaper to assess and rectify as required. All drains should be regularly checked by a plumber and kept clean of debris to allow surface water to be carried away from the dwelling.





## Drains

There is evidence of drainage issues. Consult with the vendor regarding any plumbing/drainage issues prior to a decision to purchase as this will require the service of a licenced plumber for further advice and recommendations.



## Shed

### Shed Condition

The shed is in fair usable condition.

The door rollers requires replacement.





## **Pool Fence & Signs**

### **Pool Fence**

The appropriate warning signs do not appear to be present. You should check with your local council regarding the required signs.







## **Trees**

### **Tree Findings**

Trees are close to the dwelling. These currently do not appear to have caused any defects/wall cracking. Recommendations: Engage a qualified arborist to carry out an assessment on potential issues.

Trees are overhanging roof areas. These should be cut back away from the roof line and gutters.



## ROOF AND GUTTER

### Roof Covering

#### General Disclaimer

Refer to Section 2C of the Terms And Conditions section of this report

#### Roof Covering Type

The roofing material is a combination of tile and metal roof sheeting



## Overall Condition

Of the visible areas, the general condition of the roof is in serviceable condition for the age.

Note: In the absence of rainfall there is no guarantee that the roof won't leak.

## Roof Clad Condition

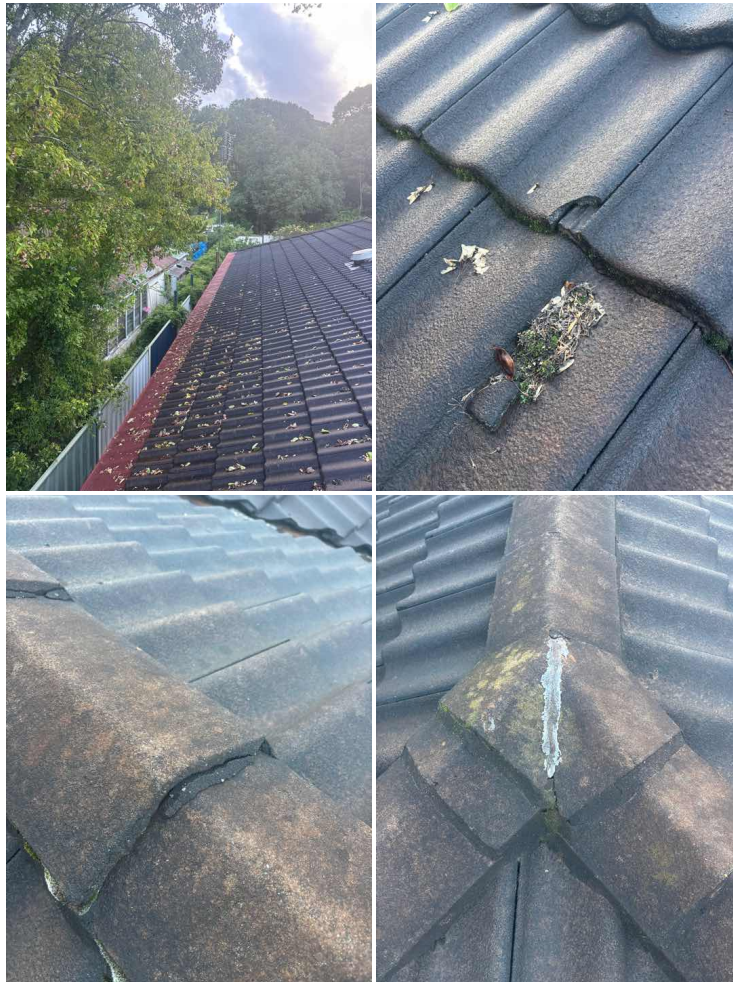
Cracked tiles visible. Contact a roof tiler for repairs. This has potential to become a serious issue if repairs aren't carried out due to water ingress into the roof cavity.

Mortar cracks visible. We recommend having these repaired by a qualified roofer as they may contribute to water ingress.

Moss has built up on the tiles over time. It is preferable to have removed / cleaned to prevent deterioration.

Recommendations: A qualified roof restoration contractor should be engaged for advice and recommendations.

Trees overhang on roof - Recommendations: Cut back to prevent damage and blocked guttering and associated problems.













## Flashing Conditions

The flashing appears to be serviceable.

Minor flashing rust sections. A qualified roofer should be engaged for repairs and recommendations.



## Guttering

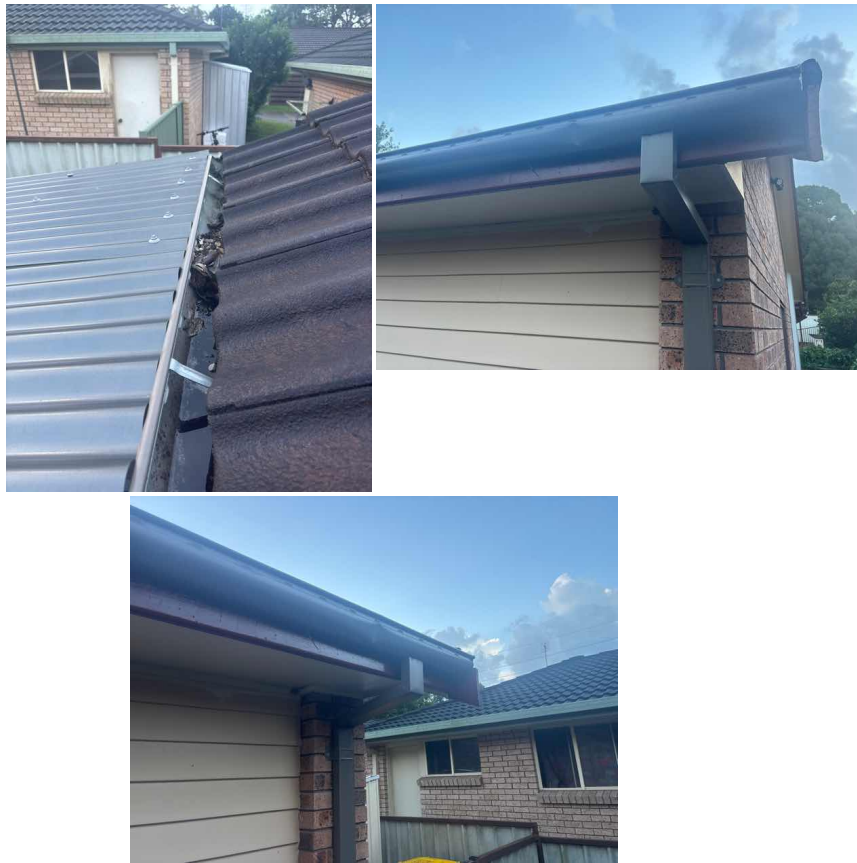
### Gutter Findings

All visible and accessible of the physical nature of the guttering system appears to be in a serviceable condition with no apparent defects at the time of inspection. In the absence of prolonged rain fall efficiency of the guttering can not be assessed and you may find that further investigation or repairs maybe required. Note: Periodic maintenance checks should be carried out for rust penetrations and leaks.

Debris in guttering areas- this requires cleaning out to prevent blocking of downpipes and leaking into eaves and fascia. Have gutters cleaned and assessed by a plumber for adequate fall. Regularly clean to prevent ponding. Ponding water will contribute to rust.

Impact/Denting damage observed. Replace as required.





## **Downpipes**

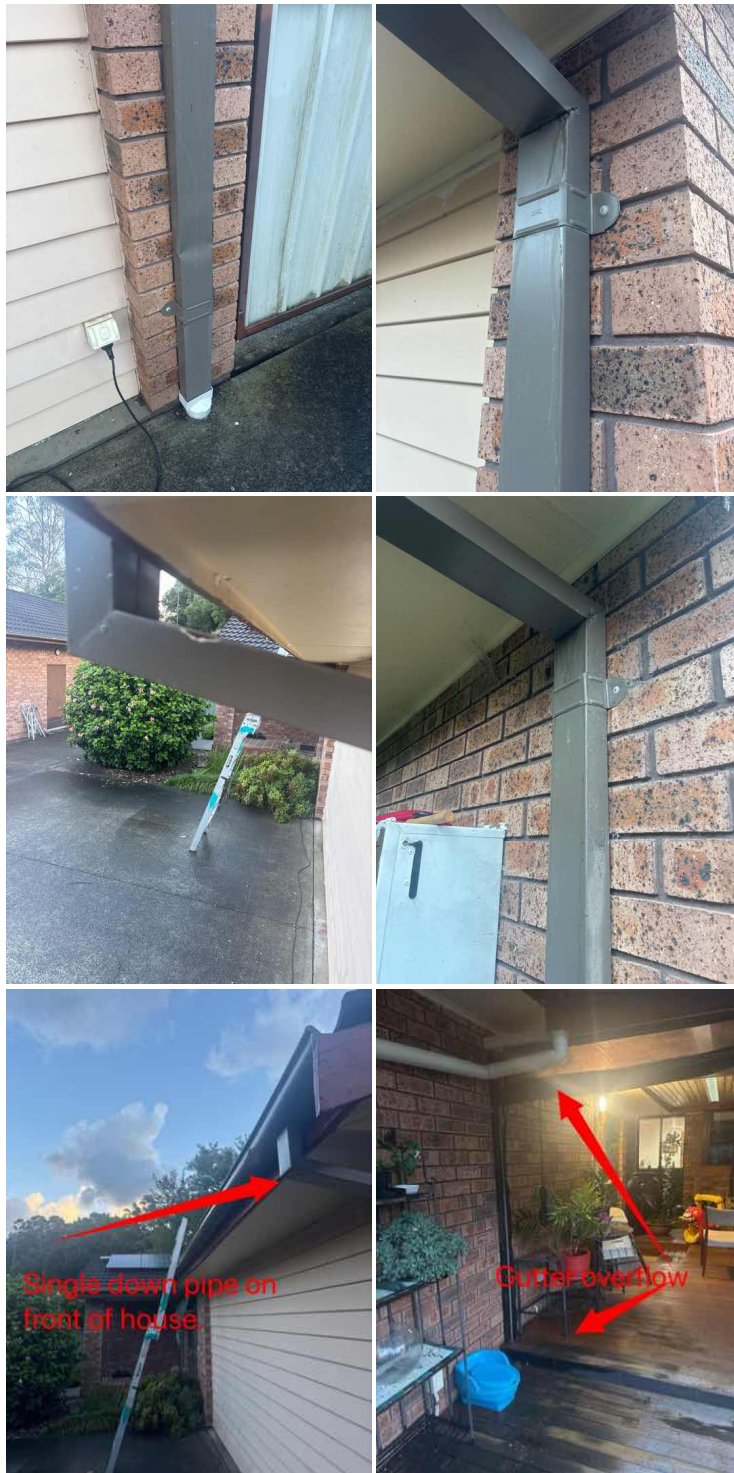
### **Downpipe Findings**

On visual inspection no apparent defects were noted to the down pipes and are considered serviceable, however no comment can be made with regard to blockages or connections to stormwater or functionality in the absence of rain. Note: Periodic maintenance checks should be carried out for rust penetrations and leaks.

Impact damage noted to downpipe. Contact a roof plumber for replacement as required.

Insufficient in the inspectors opinion. Add more to aid with water evacuation. Contact a roof plumber for further advice and recommendations.

Front gutter was only one down pipe servicing roof. This is insufficient as evident in heavy rainfall. This may also be contributing to moisture in living room walls







# HOT WATER SYSTEM

## Hot Water Unit

### Hot Water Unit Findings

The hot water system appears to be in a serviceable condition. No specific tests other than running the hot water from a tap was carried out. No determination has been made as to the suitability or adequacy of the hot water system in relation to capacity or otherwise.



### System Location

The hot water unit is located outside.

### System Type

The hot water unit is a gas instantaneous system.

### System Make

The make of the hot water unit is rinnai.

### System Capacity

26 litres per minute

### System Year of Manufacture

2013

Traditional storage tank water heaters have a life span of **around 10 years**. Tankless hot water systems such as instantaneous hot water systems can last up to 20 years.

## External Plumbing Pipes

### Plumbing Pipes

On visual inspection the external plumbing pipes appear serviceable, but should be checked by a qualified plumber.

## Water Tank

### Water Tank Condition

On Visual Inspection the water tank appears serviceable, but should be checked by a qualified plumber.

Water tank is hard up against brick wall. This does not allow proper ventilation nor visual inspection for damp proof course or termite tracing







## EXTERIOR

### Alfresco Area

#### Overall Condition

Visible sections of the Alfresco area are serviceable or in reasonable or condition for the age of this dwelling.



#### Base or Flooring Condition

General timber decay in decking components. A qualified carpenter should be engaged for advice and recommendations.



**Wall Siding Condition**

High levels of moisture detected. At this point the source of the leak appears to be the guttering system. We recommend monitoring this during rain fall. Contact a qualified roof plumber for repairs.



## Chimney.

### **General Disclaimer**

Refer to Section 2D of the Terms And Conditions section of this report.

### **Chimney Material**

The existing chimney is of steel construction

**Condition**

On visual inspection, the general condition of the chimney walls is serviceable for the age.

Original chimney is not in service as fire place has been removed. It is advised to remove old flue and repair roof to maintain water tightness



## Eaves

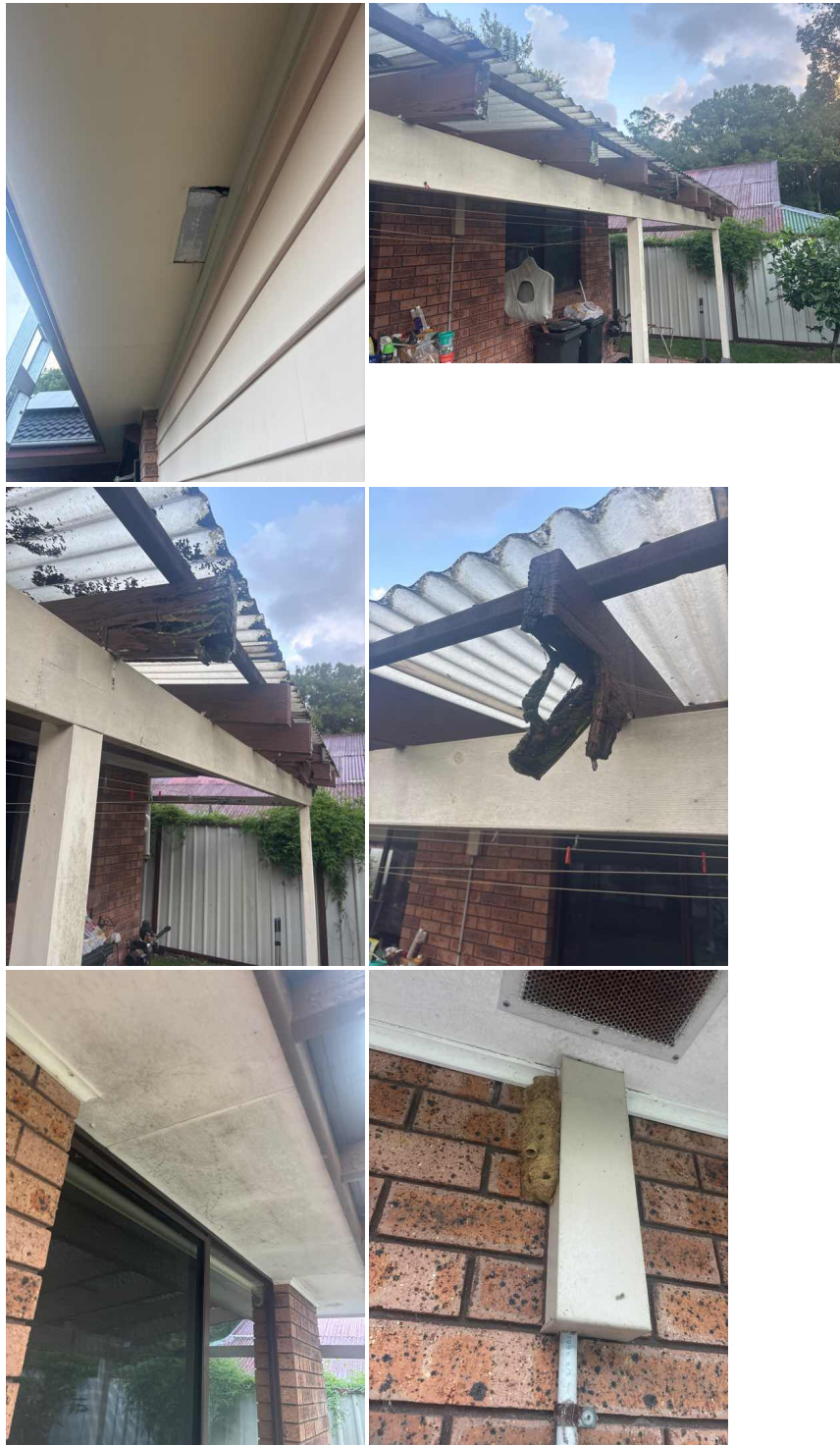
### **Eave Condition**

Minor eave deterioration & ageing evident. Recommendations: Maintenance works, general upkeep should be carried out.

Eave lining damage visible. Recommendations: A qualified carpenter should be engaged for repairs.

Eave lining timber fungal decay visible. Recommendations: A qualified carpenter should be engaged for repairs and recommendations.

Exposed common rafter ends are rotted/decayed. Recommendations: A qualified carpenter should be engaged to replace all affected rafters.

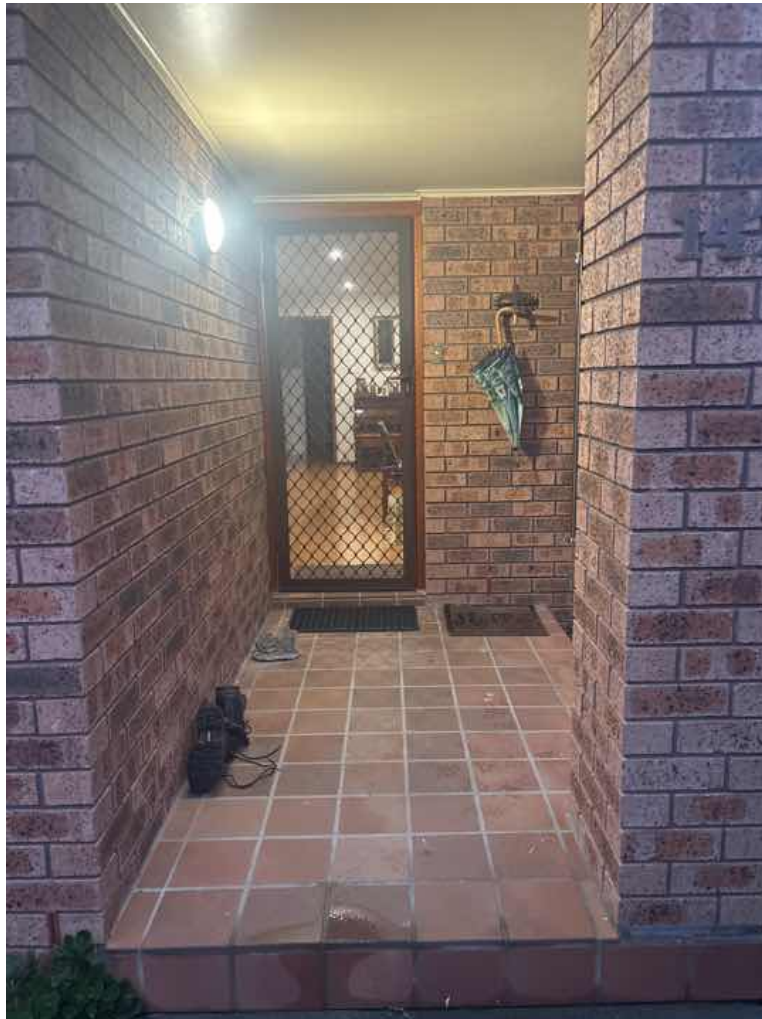




### **Entry Porch Area**

#### **Overall Condition**

The entry porch serviceable or in reasonable or condition for the age of this dwelling.



## External Door Components

### **Door Findings**

On Visual Inspection the external condition of the doors is serviceable.

General age/damage has occurred to door frame, face or components. Recommendations: A qualified carpenter should be engaged for advice and recommendations.

Hardware is binding against closing jamb. A qualified carpenter should be engaged to fix issue before further damage of the dead lock occurs.



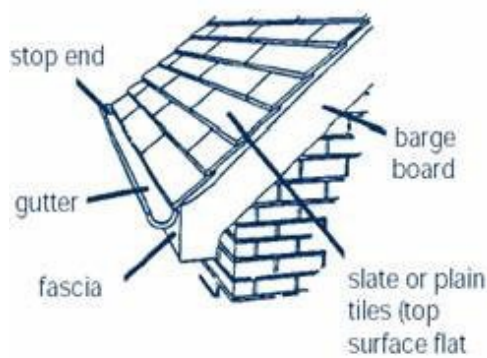
## Fascia and Barge Boards

### **Condition**

On visual inspection, the general condition of the fascia/barge boards is serviceable.

Minor deterioration & ageing evident. Recommendations: Maintenance works, general upkeep should be carried out.

Impact/Denting damage observed.







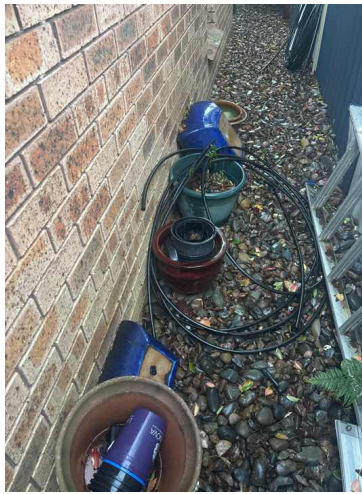
## Rising Damp

### **Rising Damp Findings**

Of the visible and accessible areas, there was no visible evidence of excessive rising damp on the external walls at time of inspection.

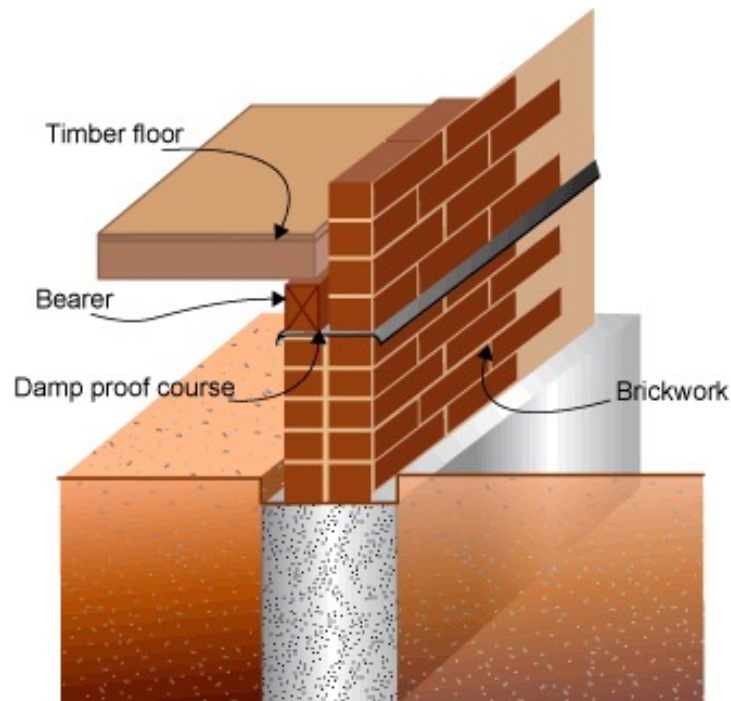
Area where first brick course sits on concrete step down has been covered by pebbles, alfresco decking and/or concrete. Failure to have concrete slab exposed increases potential termite ingress and continual exposure to rising damp.





## Damp Proof Course

A damp proof course (DPC) was noted. It can only be seen where weep holes are located. The serviceability of a complete perimeter DPC cannot be confirmed.





## Walls

### **General Disclaimer**

Refer to Section 2D of the Terms And Conditions section of this report.

### **Exterior Wall Material**

Brick.

Hardie plank.







### Condition

On visual inspection, the general condition of the exterior walls is serviceable for the age.

External cladding is in contact with the ground. This is a conducive condition for moisture penetration causing decay and/or concealed termite entry. Contact a licensed builder for recommendations.

Poor installation of cladding work noted. Incorrect installation methods have been noted for specific board type.

Rising damp detected. A qualified damp proof specialist should be engaged for advice and recommendations. Accurate diagnosis of the cause and extent of the damp problem is very important. It is strongly advised that you have this issue assessed prior to purchasing the dwelling as can be quite costly if a damp proof course has to be reinstated.





## Windows

### **General Disclaimer**

Please refer to section 2D of the Terms And Conditions Section of this report

### **Overall Condition**

On visual inspection, the general condition of the windows is serviceable for the age.

General age/damage has occurred to window components. Recommendations: Restoration work recommended. A qualified carpenter should be engaged for advice and recommendations.

Fly screens show signs of age. Near future replacement is recommended



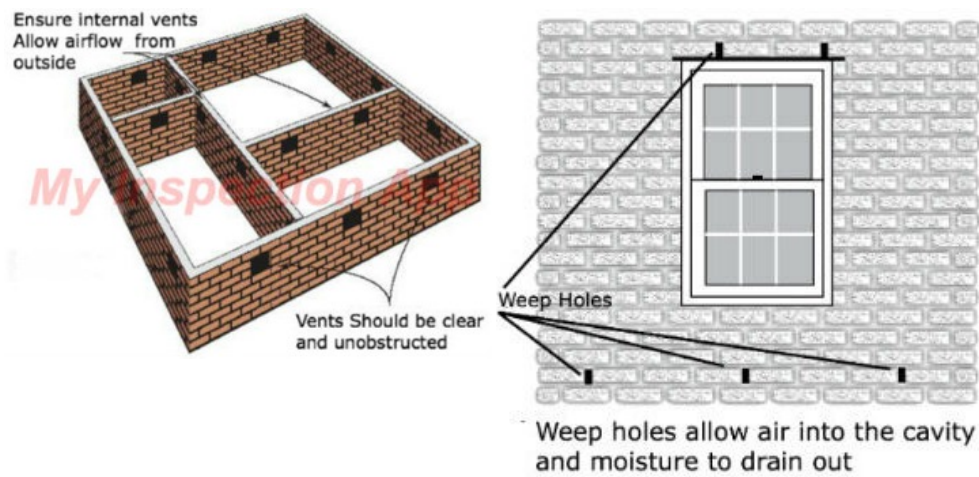
## Weep Holes and Ventilation

### Findings

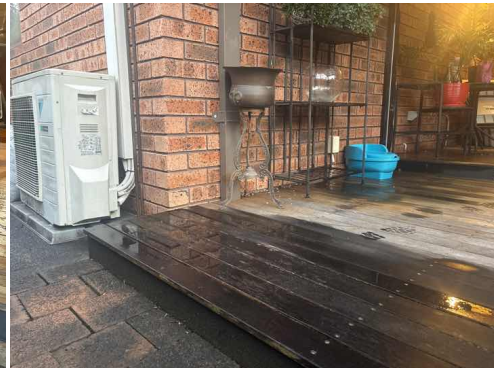
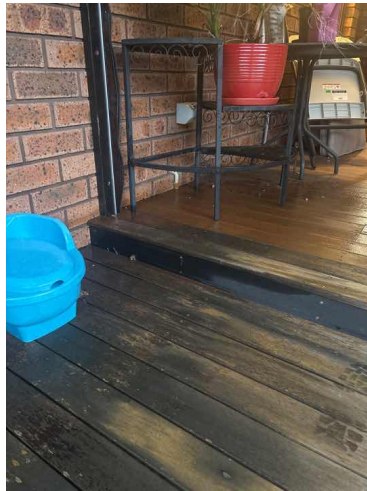
The weep holes are unobstructed .

The vents are unobstructed.

Vents are covered by decks. Sub floor vents should be exposed and allowing free flowing air.









## STAIRS- PERGOLA- BALCONIES-DECKS

### Decking Findings

#### **Overall Condition**

Of areas visible, minor defects and/or maintenance issues were visible. These will require assessment and subsequent repairs by a licensed tradesperson. Please read below for details. Please note that the inspector believes these to be of a minor nature relative to the age of the dwelling and or lack of proper and continual maintenance. Others, including other inspectors may differ in their opinions.

#### **Deck Framework**

Deck too low to the ground and edge boards restrict any access for framework condition

#### **Decking Timber**

Decking board surfaces are weathered. We recommend cleaning and maintenance as needed.



### Pergola Findings

#### **Overall Condition**

The Pergola is in a serviceable condition with no notable defects sighted.



## INTERIORS

### Entry Foyer

#### **Overall Condition**

From the visible and accessible areas, this area appears to be in a serviceable condition for the age of the property with no notable structural defects sighted.



### Combined living and Dining

#### **Overall Condition**

From the visible and accessible areas, this room appears to be in a serviceable condition for the age of the property with no notable structural defects sighted.

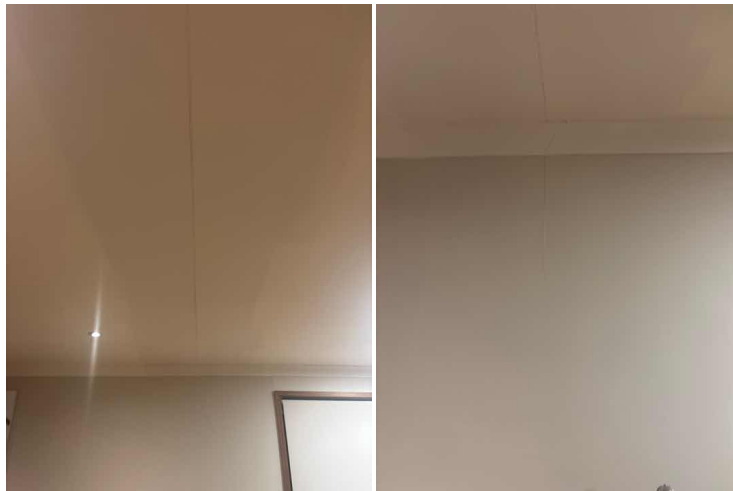


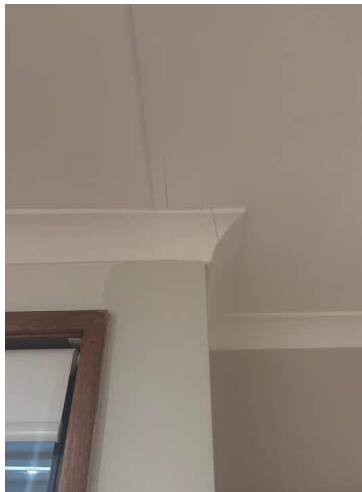


## Ceiling

General ageing and/or denting and the like is evident on ceiling linings - Recommendations: A qualified painter should be engaged to assess and repair as required.

Ceiling join crack patching is evident. I recommend you contact a qualified painter for further advice and recommendations.





## Walls

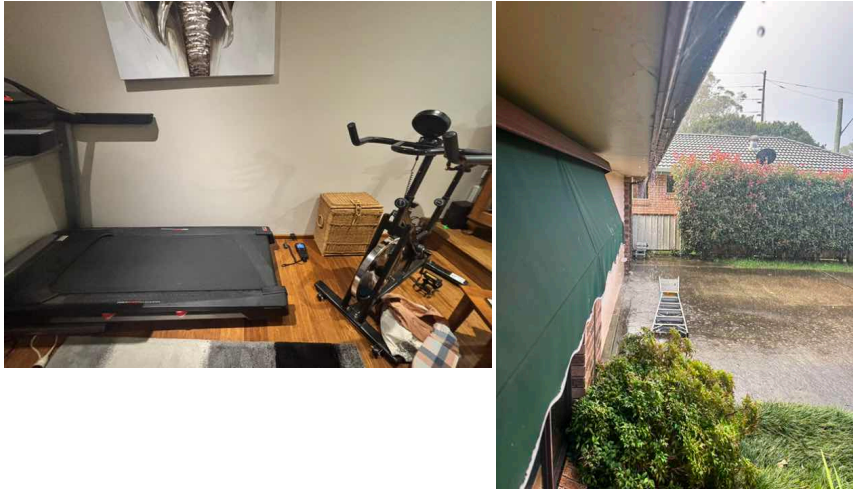
General ageing and/or denting and the like is evident on wall linings - Recommendations: A qualified painter should be engaged to assess and repair as required.

High moisture levels detected indicating rising damp. there can be other causes such as water ponding against the wall or poor drainage in that particular area. Rising damp in one area of the dwelling may mean that other sections of the dwelling may be affected and not yet visible. Contact a specialist in this field for repairs and advice. We recommend getting a quote prior to a decision to purchase as this can be very expensive to rectify.

Using an invasive moisture reading, results showed that the dry wall had over 17% of moisture. This indicates that water is penetrating the wall system from outside.

Further investigations suggests incorrect flashings have been used to seal the wall framing to the concrete slab.





## Windows

General age wear deterioration - The window frame/components showed evidence of ageing and wear. General maintenance works required.

Fly screen laying in ground in front of window





### **Living Room(1).**

#### **Overall Condition**

From the visible and accessible areas, this room appears to be in a serviceable condition for the age of the property with no notable structural defects sighted.



## Walls

High moisture levels detected indicating rising damp. there can be other causes such as water ponding against the wall or poor drainage in that particular area. Rising damp in one area of the dwelling may mean that other sections of the dwelling may be affected and not yet visible. Contact a specialist in this field for repairs and advice. We recommend getting a quote prior to a decision to purchase as this can be very expensive to rectify.

Using an invasive moisture reading, results showed that the dry wall had over 15% of moisture. This indicates that there is a high level of moisture in the wall



## Windows

General age wear deterioration - The window frame/components showed evidence of ageing and wear. General maintenance works required.

## Study.

### Overall Condition

On inspection, defects were present that will require further assessing and recommendations by a qualified trades persons, please read below for details.

### Ceiling

General ageing and/or denting and the like is evident on ceiling linings - Recommendations: A qualified painter should be engaged to assess and repair as required.

Thermal imaging noticed a potential damp spot in the ceiling corner above refrigerator. Fridge was in the way in order to obtain an accurate moisture content reading. Further investigation in the area is highly recommended.



### Walls

High moisture levels detected indicating rising damp. there can be other causes such as water ponding against the wall or poor drainage in that particular area. Rising damp in one area of the dwelling may mean that other sections of the dwelling may be affected and not yet visible. Contact a specialist in this field for repairs and advice. We recommend getting a quote prior to a decision to purchase as this can be very expensive to rectify.





## Hallway/s

### **Overall Condition**

From the visible and accessible areas, the hallway/s/ appears to be in a serviceable condition for the age of the property with no notable structural defects sighted.



### **Bedroom 1**

#### **Overall Condition**

From the visible and accessible areas, this bedroom appears to be in a serviceable condition for the age of the property with no notable structural defects sighted.

visual inspection was hindered by the amount of furniture in the room



## **Bedroom 2**

### **Overall Condition**

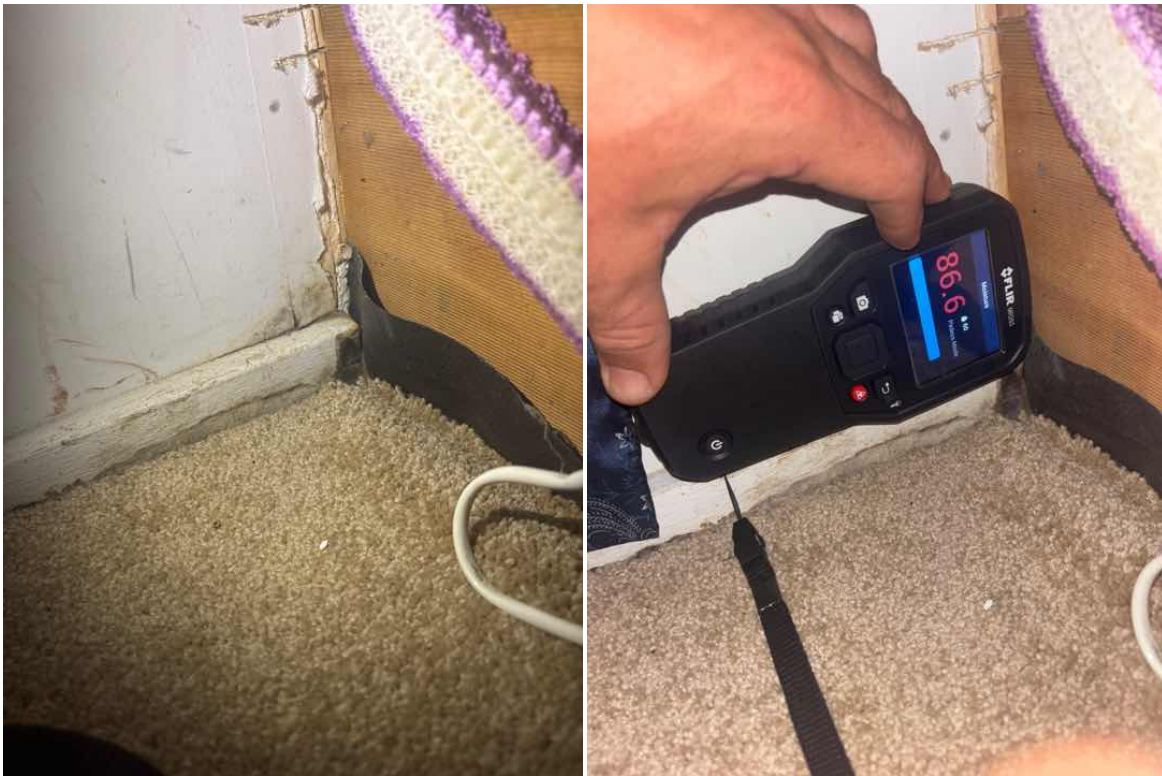
On inspection, defects were present that will require further assessing and recommendations by a qualified trades persons, please read below for details.

### **Walls**

Excess moisture readings were obtained on the wall linings adjacent bathroom/shower. This may be related to the shower recess/plumbing in wall cavity leaking or failed waterproofing membrane to the wet area. Engage a plumber and a qualified waterproofing contractor for advice and recommendations.

Readings over 70 (pinless moisture meter reading) indicate a high level of moisture.





### **Bedroom 3**

#### **Overall Condition**

From the visible and accessible areas, this bedroom appears to be in a serviceable condition for the age of the property with no notable structural defects sighted.





## BATHROOM(S)

### Bathroom 1

#### Location

This bathroom is located in the hallway.



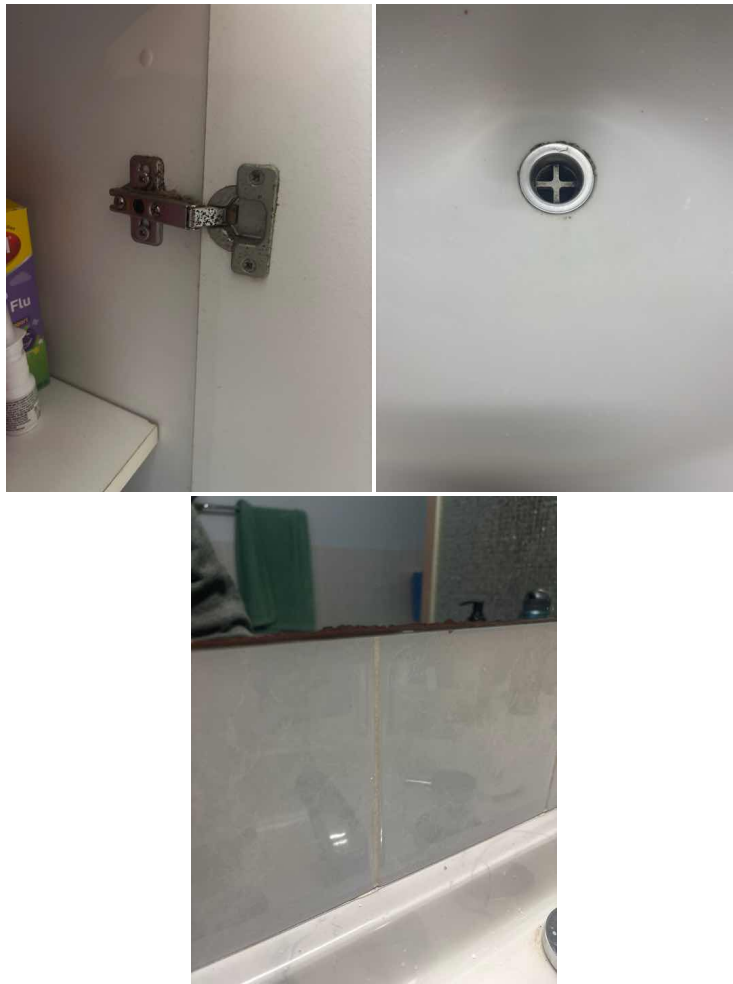
#### Overall Condition

Of the visible areas, the general condition of this bathroom is serviceable or in reasonable condition for age of dwelling.

#### Vanity/Sink/Taps

General deterioration and wear to vanity, cupboards and benches. Replacement recommended.

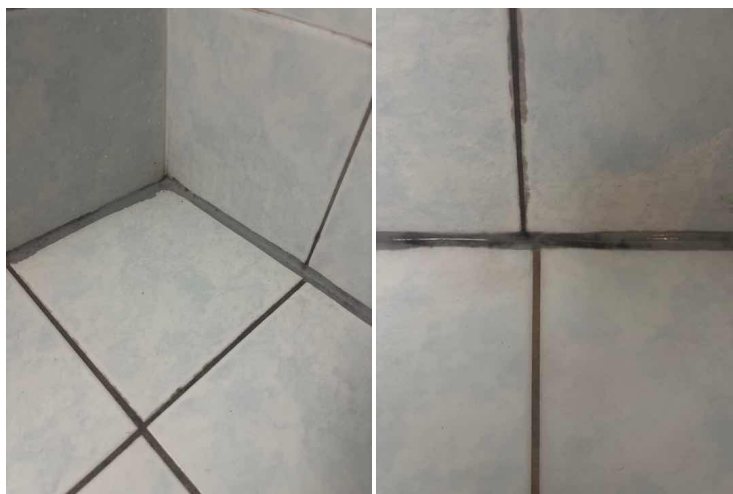
The vanity mirror is desilvering at edges. Replacement recommended.



## Shower And Bath

The bath tub is deteriorate. Refinish or replace. Contact a qualified plumber for recommendations and repairs

Silicone sealant has been applied to the interface of the floor and walls in the shower recess in an apparent attempt to prevent water penetration to surrounding areas. This method of repair can only be considered to be temporary. Further waterproofing may be necessary.





**Important Disclaimer**

Refer to Section 7 of the Terms And conditions section of this report with regard to all Bathrooms.

**Bathroom 2****Location**

This bathroom is located in the master bedroom.

**Overall Condition**

As this Bathroom appears to have been recently renovated, I strongly recommended you obtain the waterproofing certificates prior to settlement.

**Toilet/Outhouse****Location**

This bathroom is located in the hallway.

**Overall Condition**

Of the visible areas, the general condition of this bathroom is serviceable or in reasonable condition for age of dwelling.





## KITCHEN & LAUNDRY

### Kitchen and Pantry.

#### Overall Condition

Of the visible areas, the general condition of the kitchen is serviceable or in reasonable condition for age of dwelling.



#### Ceiling

Minor cornice cracks - Minor cornice cracks visible. Recommendations: I recommend you contact a licensed plasterer for further advice and recommendations.



## Walls

Damaged tile/s observed. Have repaired by a licensed tiler.



## Cupboards And Bench Tops

These components appear to be in a serviceable condition.

Mould was noted on the silicone sealant directly behind the sink tap. Sealant should be replaced in order to minimise water penetration behind tile and onto dry wall material.



## Laundry

### General Disclaimer

Laundry appliances are not tested or moved during the inspection and the condition of any walls or flooring hidden by them cannot be judged. Drain lines and water supply valves serving washing machines are not operated.

### Restrictions

Appliances and the like restricted a full visual inspection.



**Overall Condition**

Of the visible areas, the general condition of the laundry is serviceable or in reasonable condition for age of dwelling.

**Taps and Tub**

Tub is corroded. Replacement recommended.



### **Cupboards And Bench Tops**

These components appear to be in a serviceable condition



## ROOF VOID

### Roof Void Findings

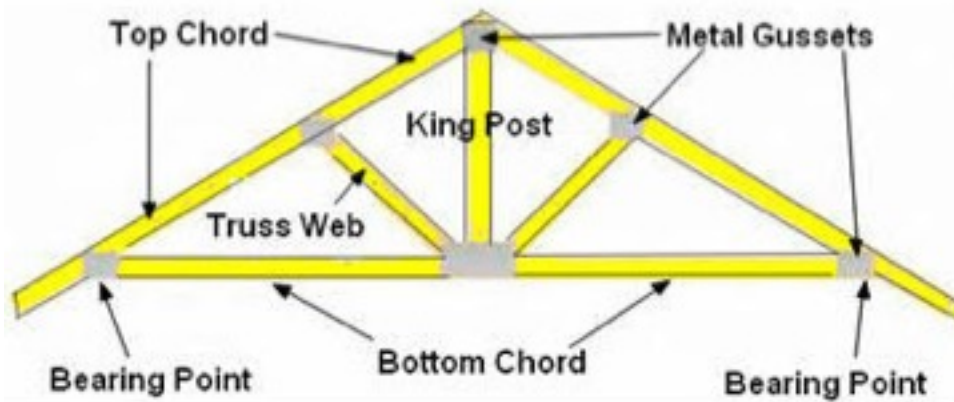
#### General Disclaimer

Please refer to section 2B of the Terms And Conditions section of this report.

#### Roof Frame Type

The roof frame is a truss timber frame.

**Common Roof Truss**



#### Overall Condition

Visible sections of the roof void is in a serviceable condition for age of this dwelling.







### Roof Framing Defects

Deteriorated batons observed. A qualified carpenter should be engaged for advice and recommendations.



### Insulation

#### Type

The roof space is insulated with fibreglass batts.

**Condition**

Where visible and accessible, the insulation appears to be in a serviceable condition.

**Sarking**

sarking is not Installed.

Sarking, a flexible membrane positioned beneath roof tiles, functions as a shielding layer akin to a second skin. Enhancing insulation efficiency, it safeguards against elements such as storm-driven rain (Leaks), dust, condensation, and embers during bushfires.









## SUBFLOOR

### Access and Restrictions

#### Restricted Areas

Inspection could not be conducted as there was no access to the subfloor.



## CONCLUSION

### Condition Of Inspected Structure

#### Overall Condition

The overall condition of this building has been compared to similar constructed buildings of approximately the same age where those buildings have had a maintenance program implemented to ensure that the building members are still fit for purpose.

The summary lists of Major and Minor defects included this report are the opinion of the inspector, other inspectors or individuals may have a different opinion to what is a Minor or a Major Defect

The incidence of major and minor defects and overall condition in this residential building as compared with similar buildings is listed below.

Please refer to the **TERMS AND CONDITIONS** section of this report for definition.

#### General Maintenance and Upkeep of This Property

The general maintenance and upkeep of this property is considered: **AVERAGE**

#### The incidence of Major Defects

The incidence of major defects in this residential building as compared with similar buildings is considered **TYPICAL**

#### The Incidence of Minor Defects

The incidence of minor defects in this residential building as compared with similar buildings is considered **TYPICAL**

#### The Overall Condition Of This Dwelling

The overall condition of this residential dwelling in the context of its age, type and general expectations of similar properties is **AVERAGE**





## PROPERTY AND INSPECTION INFORMATION

### Weather at Inspection Area

#### **Weather Conditions**

It was raining at the time of the inspection.

### Property Information

#### **Direction House Faces**

The dwelling faces East for the purposes of this inspection report.

#### **Building Type**

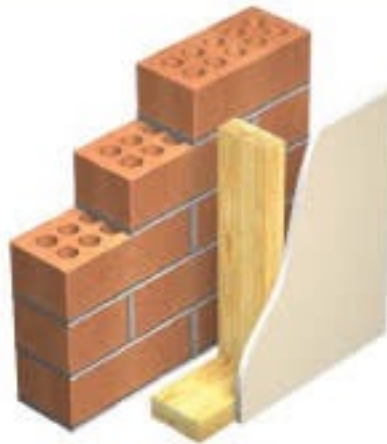
The structure is a residential house.

#### **Construction Type**

The structure is of brick veneer construction.

The dwelling is clad with Hardi-Plank.

### BRICK VENEER WALL



#### **Roof Cladding**

Tile roofing.

The roof is metal.

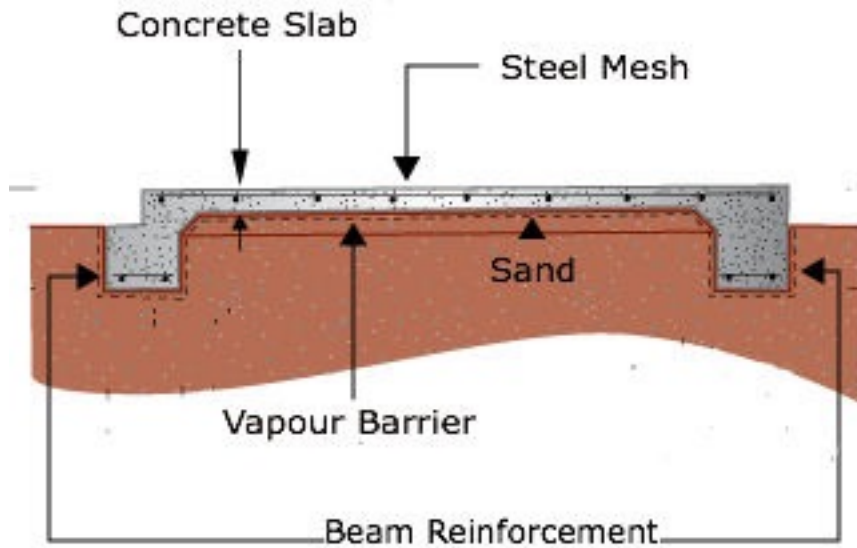
#### **Roof Design**

The roof is a pitched roof design.

#### **Footings Type**

Slab on ground construction.





### Storeys

Single level dwelling.

### Property Occupied

The property was occupied.

### Property Furnished

The property was fully furnished.

### People Present

The vendor was present.

## Access and Restrictions

### Inspected Areas

Building exterior.  
 Building interior.  
 Roof Exterior  
 Lower level roof exterior.  
 The Roof void.  
 The site.

### Area Where Inspection Was Restricted

Stored items on the exterior walls restricted full visual inspection of the building's exterior.  
 Furniture and belongings restricted full visual inspection of the building interior.  
 Clearances, ducting and insulation where applicable restricted full visual inspection of the roof void.  
 Vegetation overgrowth restricted full visual inspection of the fence.

### Areas Not Inspected

The garage. The area was locked  
 The sub-floor.  
 Inaccessible roof void sections due to access limitations and or insulation and ducting.

**Utility Status****Water**

The water was Connected. All plumbing pipe installation should be assessed by a licensed plumber.

**Electricity**

Electricity to the dwelling was connected. Note: We do not carry out electrical inspections for wiring or safety. This must be carried out by a licensed electrician and I recommend you have all electrical wiring and components assessed by a licensed electrician.

**Apparent Concealment of possible defects****Were apparent Concealments seen**

No apparent concealing of defects was visible.

**inspection Agreement****Were there any specific requirements to The Pre Inspection Agreement**

Yes specific requirements were,



## TERMS AND CONDITIONS

The purpose of the inspection is to identify the visible major defects and safety hazards associated with the property at the time of the inspection. The inspection and reporting is limited to a visual assessment of structure in accord with AS 4349.1 appendix "C" or if not a pre-purchase report then the report complies with AS4349.0. This is a general appraisal only and cannot be relied on its own, a further inspection by specialist and qualified trades is strongly recommended.

**NOT A PEST REPORT:** This inspection and report will not inspect, seek or attempt to identify timber pest activity or damage. We strongly recommend you obtain a timber pest inspection conducted by a licensed and suitably qualified pest inspector.

### DEFINITIONS AND TERMINOLOGY

**SERVICEABLE:** The building material or component is in reasonable or serviceable condition for the age of the dwelling.

**TRADESMAN:** A defect or a number of defects were visible that will require assessment by a qualified trades person.

**AGE:** The component has deterioration due to ageing or lack of upkeep and or maintenance.

**MONITOR:** Some defects may require monitoring to ascertain if the defect will worsen, reappear or cause further problems.

**STRATA:** In the case of strata and company title properties, the inspection is limited to the interior and immediate exterior of the particular unit being inspected report.

**HIGH:** The frequency and/or magnitude of defects are beyond the inspector's expectations when compared to similar buildings of approximately the same age that have been reasonably well maintained.

**TYPICAL:** The frequency and/or magnitude of defects are consistent with the inspector's expectations when compared to similar buildings of approximately the same age, which have been reasonably well maintained.

**LOW:** The frequency and/or magnitude of defects are lower than the inspector's expectations when compared to similar buildings of approximately the same age that have been reasonably well maintained.

**ABOVE AVERAGE:** The overall condition is above that consistent with dwellings of approximately the same age and construction. Most items and areas are well maintained and show a reasonable standard of workmanship when compared with buildings of similar age and construction.

**AVERAGE:** The overall condition is consistent with dwellings of approximately the same age and construction. There will be areas or items requiring some repair or maintenance.

**BELOW AVERAGE:** The building and its parts show some significant defects and/or very poor workmanship and/or long-term neglect and/or defects requiring major repairs or reconstruction of major building.

**SIGNIFICANT ITEMS:** An item that must be reported in accordance with the scope of the inspection.

**MAJOR DEFECT:** A defect of sufficient magnitude requiring building works to avoid unsafe conditions, loss of function or further worsening of the defective item.

**MINOR DEFECT:** Any defect other than what is described as a Significant Item or major defect.

**SAFETY HAZARD:** A defect that presents unsafe conditions and must be reported as a Major defect.



**ACCESSIBLE AREA:** Is any area of the property and structures allowing the inspector safe and reasonable access within the scope of the inspection.

**LIMITATION:** A factor that prevents full or proper inspection of the building.

## IMPORTANT INFORMATION

This report outlines the scope and limitations of the inspection. It consists of a visual assessment aimed at identifying major defects and assessing the property's general condition at the time of inspection. Cost estimates for rectification work are not included as per Australian Standard AS 4349. For properties within Strata or Company Titles, the inspection is limited to the interior and immediate exterior of the specific residential unit, excluding common areas. It's crucial to conduct a re-inspection if the sale contract becomes binding more than 30 days after the initial assessment. This report is intended solely for the individual named in the CLIENT INFORMATION section, and any reliance on it by real estate agents is discouraged. Additionally, any reported a structural engineer for further assessment and advice should evaluate cracking. Please refer to section 2G for details on Cracking of Building Elements.

**Acceptance Criteria:** The building shall be compared with a building that was constructed in accordance with the generally accepted practice at the time of construction and which has been maintained such that there has been no significant loss of strength and serviceability.

**Limitations:** This report is based on a limited visual inspection of accessible areas only, following safety protocols and AS4349 guidelines. Its purpose is to advise potential buyers on the property's condition at the time of inspection. While it covers all safe and accessible areas, it does not assess geological, structural, or service system aspects. It's recommended that qualified contractors evaluate electrical, plumbing, gas, and motorized appliances before purchase. The inspection primarily focuses on the main structure and nearby buildings within 30m of the site, including fences.

**Safe and Reasonable Access:** Inspections were conducted only in areas with safe and reasonable access, as defined by AS4349.1 or AS4349.0. This includes spaces where unobstructed access is provided, adhering to specified clearances being Roof Interior- Access opening 400 x 500 mm - Crawl Space 600 x 600mm - Height accessible from a 3.6m ladder. Roof Exterior- Must be accessible from a 3.6m ladder placed on the ground. However, access does not entail removing screws or bolts, using invasive methods, or moving heavy furniture. For roof inspections, specific access dimensions and ladder requirements apply, ensuring safety and compliance.

**1) NOT A CERTIFICATE OF COMPLIANCE:** This report does not cover every aspect of the building. It aims to identify obvious or significant defects present at the time of inspection. The significance of a defect depends largely on the age and type of the building. It does not serve as a certificate of compliance with any regulations or acts, nor is it a structural report. For structural advice, consulting a structural engineer is recommended.

**2) VISUAL INSPECTION:** This is a visual inspection only limited to those areas and sections of the property safe that are fully accessible safe to access and visible to the inspector on the date of inspection.

2a) **Restricted Areas:** Some areas listed in the report may have been inaccessible due to factors like storage, furniture, or limited access. Defects or damage may exist in these areas. Removal of obstacles like ducts or floorboards may be necessary for a thorough inspection, requiring permission from the property owner. We do not guarantee the absence or presence of defects, termite damage, or live termites in uninspected areas. Review the entire inspection report and ensure to contact us with any questions before making a purchase decision.

2b) **Entering attics or roof voids** that are insulated can cause damage to the insulation and attic framing. Attics with deep insulation cannot be safely inspected due to limited visibility of the framing members upon which the inspector must walk. In such cases, the attic is only partially accessed, thereby limiting the review of the attic area from the hatch area only. Inspectors will not crawl the attic area when they believe it is a danger to them or that they might damage the attic insulation or framing. There is a limited review of the attic area viewed from the hatch only in these circumstances.

2c) **Roof Inspection Limitations:** The inspector will not walk on the roof if it's deemed unsafe, which can be due to factors like height, pitch, or slippery surfaces. This limitation may result in hidden defects. The inspector provides an opinion on the overall condition of the roofing material but does not guarantee against leaks. Observing the roof during rainfall is the only sure way to determine its watertightness, which is often not possible during inspections. Therefore, we offer no guarantee against future leaks.

2d) **Limitations to Exterior Inspection:** This is a visual inspection that examines a representative sample of exterior components, not every occurrence. Geological, geotechnical, hydrological, and environmental conditions are not assessed. Certain features like screening, shutters, fences, and recreational facilities are excluded unless specified. We cannot guarantee that any visible wall cracks will not worsen over time; consult a structural engineer for advice.

2e) Timber framed windows may bind or stick, often due to changes in moisture content. If binding persists, a carpenter may need to make adjustments. While not usually a major defect, binding windows can sometimes indicate footing settlement issues. If fungal decay or deteriorated putty seals are present, the consultant won't operate windows to avoid damage. Sticking or paint-sealed windows won't be forced open. Water leaks around windows can't be assessed without rain.

2f) Carpets, floor coverings, cupboards, and other fixtures, potentially obscuring defects in the flooring or walls may hinder internal inspections. Damage may remain undetected where access is limited or obstructed. Wall condition behind coverings cannot be assessed. This inspection covers only visible areas. Fireboxes, including wood burning units, are not included in this scope; it's advised to test them for assurance before purchase.

2g) **Cracking of Building Elements:** Regardless of the type of crack(s) the inspector carrying out a visual inspection is unable to determine the expected consequences of the cracks. As a crack on the day can be 1mm wide but may have the potential to develop over time into structural problems for the home owner resulting in major expensive rectification work.

Information required to determine the consequences of a crack:

Nature of the foundation material on which the building is resting

- a) The design of the footings
- b) The site landscape and topography
- c) The history of the cracks

All these factors fall outside the scope of this inspection. However the information obtained from the items above are valuable in determining the expected consequences of the cracking and any remedial work.

**Cracking Categories:** Cracking is also categorized into the following 5 categories with a description of typical damage and required repairs:

0-Hairline cracking, less than 0.1mm,

1-Fine cracks that do not need repair, less than 1.0mm,

2-Noticeable cracks, yet easily filled 1mm - 5.0mm,

3-Cracks that can be repaired and possibly some of the wall sections will need to be replaced. Weather tightness can be impaired; 5.0mm -15.0mm,

4-Extensive repair works required involving breaking out and replacing these sections. Walls can become out of plumb and fall and causes reduced bearing capacity, 15.0mm - 25.0mm.

**IMPORTANT:** Regardless of location or size If cracks have been identified then a structural engineer is required to determine the significance of the cracking prior to a decision to purchase.

2h) For any elevated structure designed for human use, it's imperative to engage an engineer or qualified individual for inspection and to arrange annual maintenance checks. This report does not confirm suitability for specific purposes or capacities. Only a qualified engineer can assess this. The term "structure" encompasses elevated decks, verandas, balconies, handrails, stairs, and play areas. If linings or obstructions hide any structural component, a qualified professional must remove them for evaluation.

**3) CONCEALED DEFECTS:** This report does not cover: concealed defects, weather-dependent issues like leaks, usage-dependent defects (e.g., shower enclosures), timber pests, gas fittings, common areas, environmental factors, proximity to transportation, noise levels, health and safety, heritage, security, fire protection, site drainage, non-structural swimming pools/spas, illegal construction or plumbing, durability of finishes, neighbourhood issues, document analysis, electrical systems, statutory regulations, or any uninspected areas/items.

**4) NO GUARANTEE:** Accordingly this report is not a guarantee that defects and/or damage do not exist in any inaccessible or partly inaccessible areas or sections of the property. Such matters may upon request be covered under the terms of a special purpose property report.

**5) SWIMMING POOLS:** Swimming pools/spas are not part of the standard building report as per AS4349 and are not covered by this report. We strongly recommend a pool expert should be engaged to examine the pool and the pool equipment and plumbing as well as the requirements to meet the standard for pool fencing. Failure to conduct this inspection and put into place the necessary recommendations could result in finds for non-compliance under the legislation.

**6) SURFACE WATER AND DRAINAGE:** To prevent potential foundation issues, ensure proper drainage away from the house. This inspection does not assess site drainage, as its adequacy can vary with weather conditions. Recommendations are based on conditions observed during the inspection. Consider a smoke test to detect illegal connections or drainage issues.

**7) SHOWER RECESSES:** Shower areas are visually inspected for leaks, but leaks may only become apparent with consistent use. Ensuring watertightness is not within the scope of this inspection. Proper sealing in bathrooms is crucial to prevent water damage. Ongoing maintenance is essential to address minor imperfections that could lead to water penetration. Shower recesses may be tested for leaks if water is connected, but such tests have limitations and may not detect all issues. The absence of visible leaks during inspection does not guarantee that the shower is leak-free.

**8) GLASS CAUTION:** Glazing in older houses (built before 1978) may not necessarily comply with current glass safety standards AS1288. In the interests of safety, glass panes in doors and windows especially in traffic-able areas should be replaced with safety glass or have shatterproof film installed unless they already comply with the current standard.

**9) STAIRS AND BALUSTRADES:** Specifications have been laid down by the National Construction Code, covering stairs, landings, balustrades to ensure the safety of all occupants and visitors in a building. Many balustrades and stairs built before 1996 may not comply with the current standard. You must upgrade all such items to the current standard to improve safety.

**10) RETAINING WALLS:** Retaining walls exceeding 700mm in height should have been installed with engineering design and supervision. Such walls on the site were not evaluated in this standard property report. It is recommended to investigate further regarding drainage systems, load-bearing capacity, component sizing, and batter.



**11) ROOMS BELOW GROUND LEVEL:** If there are any rooms under the house or below ground level (whether they are habitable or non-habitable rooms), these may be subject to dampness and water penetration. Drains are not always installed correctly or could be blocked. It is common to have damp problems and water entry into these types of rooms, especially during periods of heavy rainfall and this may not be evident upon initial inspection. These rooms may not have council approval. The purchaser should make his or her own enquiries with the Council to ascertain if approval was given.

**12) ASBESTOS, MOULD AND MAGNASITE DISCLAIMER:** No inspection for asbestos, Mould or Magnasite was carried out at the property and no report on their presence or is provided. Consult with a suitably qualified inspector for these tests

**13) ESTIMATING DISCLAIMER:** No estimate is provided in this report. We strongly recommend you obtain quotes for repairs from licensed tradesman prior to a decision to purchase.

**14) DISCLAIMER OF LIABILITY:** No liability shall be accepted on an account of failure of the report to notify any problems in the area(s) or section(s) of the subject property that were obstructed and or concealed, physically inaccessible for inspection, or to which access for inspection is denied by or to the inspector (including but not limited to or any area(s) or section(s) so specified by the report) Compensation will only be payable for losses arising in contract or tort sustained by the client named on the front of this report. Compensation is limited to the price of the report initially paid by the claimant named in the report as the "CLIENT"

**15) DISCLAIMER OF LIABILITY TO THIRD PARTIES:** Compensation will only be payable for losses arising in contract or tort sustained by the Client named on the front of this report. Any third party acting or relying on this Report, in whole or in part, does so entirely at his or her own risk.

**16) COMPLAINTS PROCEDURE:** In case of any dispute or claim regarding the Inspection or the Report, notify us promptly via email or registered mail. We must be granted access to the property within 28 days to investigate fully, and you'll receive a written response within the same timeframe. If unsatisfied, refer the matter to a Mediator nominated by us within 21 days of our response. The cost will be shared equally, or as agreed upon. Failure to comply and initiating litigation will require you to indemnify us against any incurred expenses.

## OTHER RECOMMENDED INSPECTIONS

**Electrical installation:** All electrical wiring, meter-box and appliances need to be checked by a qualified electrician. The inspection of any electrical item is outside the scope of this report.

**Plumbing:** All plumbing including septic tanks need to be inspected and reported on by a plumber.

**Hot water service:** Hot water services need to be checked by a plumber and/or electrician.

**Gas:** All gas services need to be inspected and reported on by a gas plumber.

**Phone:** All phones, phone lines and outlets need to be inspected and reported on by a telecommunications technician.

**Smoke Alarm:** AS3786 mandates smoke alarms in buildings where people sleep. Consult an electrician for advice on installation or existing alarms.

**Contact the inspector:** For any queries or clarification regarding this report, don't hesitate to contact the inspector directly. Understanding complex issues or faults can be challenging, we strongly recommend you contact the inspector promptly for assistance and clarification on listed issues before making any decisions based on the report.

**The Inspection and Report was carried out by: Matt Aylward**  
**State License Number: 250238C**  
**Contact the Inspector on: 0431920377**  
**For and on Behalf of: PRO BUILD Inspections**

